

Red Cow Design & Planning Limited Trading As
CUNNINGHAM DESIGN & PLANNING
Consulting Engineers

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N4 Axis Centre
Longford
Co. Longford

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Email: mark@cunninghamdp.ie
Website: www.cunninghamdp.ie

Date: 05/01/2021

Dear Sir/Madam

Re: Zoning Submission For Existing Lands At Higginstown Granard, Co. Longford On Behalf of Mr. John Creegan.

I refer to the above and I wish to inform the relevant parties that I as Chartered Engineer and Assigned Certifier am familiar with the above-mentioned property and I will address same under the headings below.

Please note that the applicant's landholding is comprised within Folio No. LD10872F (A95DT, A95DX, A95D2 & A95D5) as is evident on the screenshots from Land Direct copies of which are attached herewith in **Appendix A** for ease of reference.

Please note that Mr. John Creegan was granted full planning permission on these lands under planning reference No. PL 06/454 for 4 No. semi-detached type dwelling houses and I now enclose herewith the relevant conditions of planning permission together with the drawings on foot of which this permission was granted for ease of reference attached in **Appendix B**. Again for ease of reference please note that the lands in question are shown outlined in blue on the relevant site layout drawing attached in **Appendix B**.

Please note these portions of lands are shown outlined in blue and denoted with the letter "A" on the attached Draft Zoning Map of Granard for the proposed County Development Plan 2021 – 2027 attached in **Appendix C**. Whereby these portions of land are shown zoned "Recreational/Amenity/Green Open Space". It is our professional opinion that these lands should be Zoned "Residential" as the lands previously had the benefit of planning permission for 4 No. dwelling houses. In addition please note that we as Chartered Engineers and Assigned Certifiers and the original Consulting Engineers on the estate known as "Higginstown" hereby

confirm that the lands in question are serviced with individual foul sewer, surface water and watermain connections from the time the original estate was constructed.

Finally please find attached in *Appendix D* aerial photographs showing the lands in question fenced off from the existing green area which services the existing estate. In addition to this I also confirm herewith that the existing green area that services the Higginstown Estate is that which was granted full planning permission under planning reference No. PL06/454 and equates to in excess of 15% of the green ope of the overall site area.

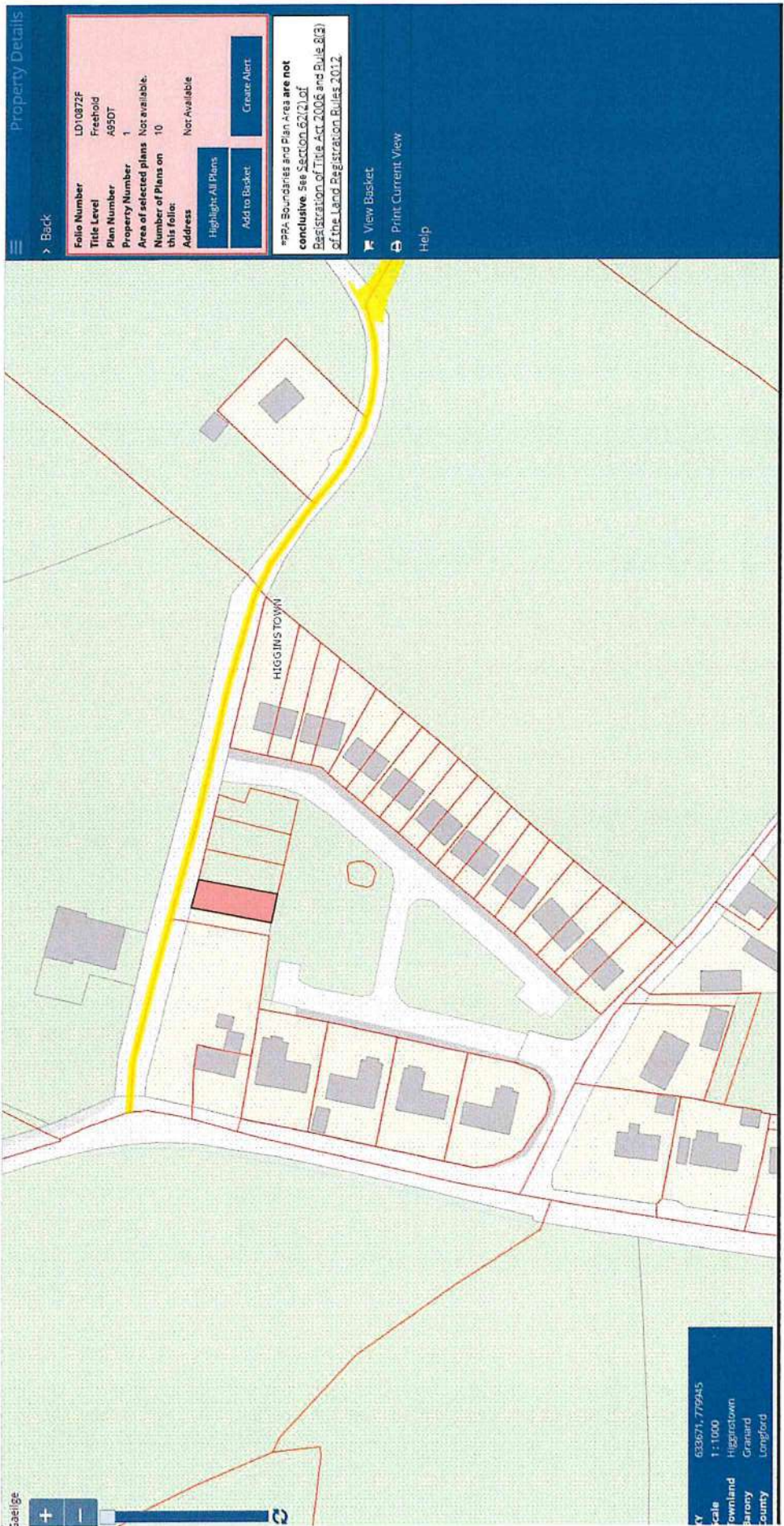
Should you require any further information then please do not hesitate to contact me.

Yours sincerely,



Signed: _____
Mark Cunningham, BEng, MSc, CEng, MIEI.

Appendix A



Scale



TY 633071, 779245
Scale 1 : 1000
Townland Higginstown
Barony Granard
County Longford

Property Details
> Back

Folio Number	LD10872F
Title Level	Freehold
Plan Number	A950T
Property Number	1
Area of selected plans	Not available.
Number of Plans on this folio:	10
Address	Not Available
Highlight All Plans	
Add to Basket	
Create Alert	

*PPA Boundaries and Plan Area are not conclusive. See Section 62(2) of Registration of Title Act 2008 and Bulle 8(3) of the Land Registration Rules 2012.

[View Basket](#)
[Print Current View](#)
[Help](#)

landirect.ie | landirect.ie/primap/

Gaelige

Property Details

LD10872F
 Title Level: Freehold
 Plan Number: A95D5
 Property Number: 1
 Area of selected plans: Not available.
 Number of Plans on this folio: 10
 Address: Not Available

Highlight All Items
 Add to Basket
 Create Alert

*PPA boundaries and plan area are not conclusive. See Section 62(2) of Registration of Title Act 2006 and Rule 6(3) of the Land Registration Rules 2012.

View Basket
 Print Current View
 Help

XY: G30671, 73992
 Scale: 1:1000
 Townland: Highinstown
 Barony: Grand
 County: Longford

Type here to search

ENG 1153 05/01/2021

landdirect.ie

landdirectie

landdirectie

633659, 779992

Scale 1:1000

Townland Hughinstown

Barony Granard

County Longford

Type here to search

Property Details

Folio Number	LD10872F
Title Level	Freshold
Plan Number	A95D2
Property Number	1
Area of selected plans	Not available
Number of Plans on this folio	10
Address	Not Available

Highlight All Plans
Add to Basket
Create Alert

NOTE: Boundaries and Plan Area are not conclusive. See Section 62(1) of Registration of Title Act 2002 and Section 8(2) of the Land Registration Rules 2012

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Help

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ENMS
UK
05/07/2021

landirect4

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Scale 1:1000
Townland Higginstown
Barony Granaid
County Longford

Property Details

Back

Folio Number LD10872F
Title Level Freshoid
Plan Number #55DX
Property Number 1
Area of selected plans: Not available.
Number of Plans on this folio: 10
Address Not Available

Highlight All Plans
Add to Basket
Create Alert

***SA Boundaries and Plan Area are not conclusive. See Section 6.2(1) of Registration of Title Act 2006 and Rule 6(2) of the Land Registration Rules 2011.

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05/01/2021

Appendix B

LONGFORD COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACTS 2000 - 2004

PLANNING PERMISSION

To: John Creegan
C/o Mark Cunningham
Market Square
Longford

Planning Reference No: 06/454

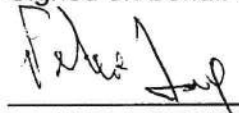
Date of Receipt of Application: 29/06/2006

Notice is hereby given that in pursuance of the Powers conferred upon them by the above mentioned Acts Longford County Council has by order dated 25.9.06 **Granted PERMISSION**

to the above named, for development of land, in accordance with documents lodged namely:

re-design of existing partially constructed housing development granted under PL04/215, to consist of 4 no. semi-detached type dwelling houses and all ancillary site works at Higginstown Granard Co. Longford

Signed on behalf of LONGFORD COUNTY COUNCIL


SENIOR EXECUTIVE OFFICER

Date: 25/9/06

Schedule of Conditions.

As per attached, see conditions 1 – 4

Where Outline Permission is granted, that permission shall not operate to authorise the carrying out of any development to which the outline permission relates until a subsequent permission has been granted.

NOTE:-

The permission herein granted shall, on the expiration of the period of 5 years beginning on the date of the granting of permission cease to have effect as regards-

1. In case the development to which the permission relates is not commenced during the period, the entire development and
2. In case such development is so commenced, so much thereof as is not completed within that period
3. In the case of outline permission, any subsequent application for permission must be made not later than 3 years beginning on the date of grant of outline permission.
4. The applicant is advised that he/she is required to comply with the requirements of the Building Control Act, 1990.

No.	Condition.	Reason for Condition.
1.	The development shall be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application received on 29 th June 2006 only and not in accordance with the plans received by way of unsolicited information received on 18 th August, 2006, save as may be required by the other conditions attached hereto.	To ensure that the development shall be in accordance with the permission and that effective control can be maintained.
2.	The conditions attaching to previous permissions granted under Ref. Nos. P1 04/215 and PL 04/1031 and which govern the development of the overall site shall continue to apply in the case of this permission.	To ensure that the development shall be in accordance with the permission and that effective control can be maintained
3.	Prior to the commencement of development, the developer shall lodge with the Planning Authority a cash deposit, a bond of an Insurance Company, or other security to the amount of €8,888.00 to secure the provision and satisfactory completion and maintenance until taken in charge by the Planning Authority of roads, footpaths, watermains, drains, public open space and other services required in connection with the development, coupled with an agreement empowering the Planning Authority to apply such security or part thereof to the satisfactory completion or maintenance of any part of the development. The security shall be renewed until such a time as the estate is taken in charge.	To ensure satisfactory completion of the development.
4.	<p>Prior to the commencement of development, or as may otherwise be agreed in writing with the Planning Authority, the developer shall pay the sum of €7,680.00* (2x Open Space=€1,100 + Roads=€1,100 + Water=€1,640)* to the Planning Authority as a contribution, in accordance with the Council's Development Contribution Scheme adopted in 2004, in respect of public infrastructure and facilities benefiting development in the area of the Planning Authority, and that is provided or that it is intended will be provided by, or on behalf of, the Council.</p> <p>*The contribution payable will be based on the contribution rate applicable at the time of payment and <u>not</u> the rate in existence when permission is granted. The amount of the development contribution will be updated annually on the 1st January in accordance with changes in the Wholesale Price Index (Building and Construction), (Capital Goods) and penalty interest for late payment shall apply, in accordance with the terms of the Council's Development Contribution Scheme.</p>	It is considered reasonable that the developer should contribute towards the expenditure incurred or proposed to be incurred by Longford County Council in respect of the provision/improvement of public services/infrastructure benefiting development in the area of the Planning Authority.

NOTES:

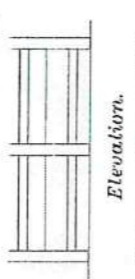
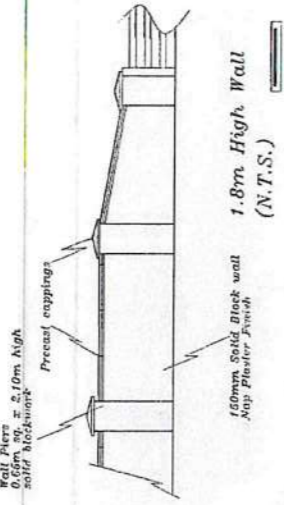
Applicant/developer to ensure that the proposed dwelling complies with the building regulations, particularly in relation to bedroom windows for fire escape purposes

In accordance with Section 34 (13) of the Planning and Development Act 2000, you are advised that "a person shall not be entitled solely by reason of a permission under this section to carry out any development".

All Site Works In Accordance With "Recommendations For Site Development Works For Housing Areas" Dept. Of Environment November, 1998
 All Building Works To Be Constructed In Accordance With Building Regulations 1997

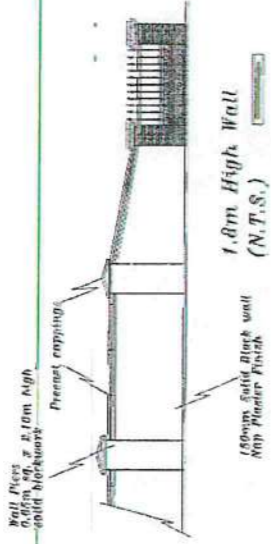
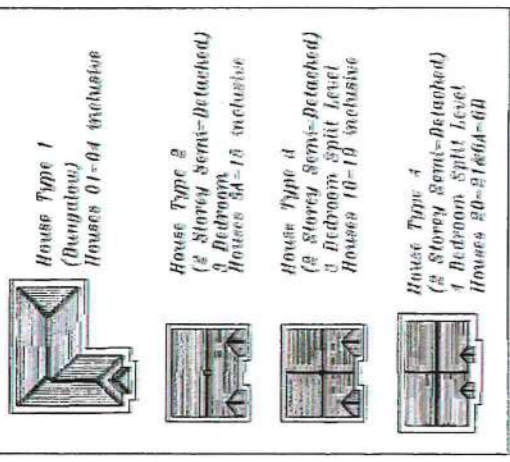
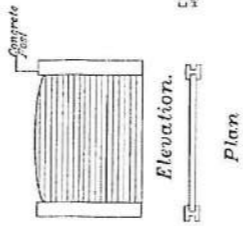
- Key :
- Sv : Staircase Valve
 - M : Water Meter (80mm) Kent Or Similar Approved Unit
 - Fhsc : Fire Hydrant Stopcock
 - Fh : Fire Hydrant
 - Th : Thrust Block At 90° Bend
 - RC : Road Gully
 - LS : Lamp Stand
 - Sc : Stopcock c/w Arplast Box Or Similar Approved
 - Marker Posts And Plate To Be Positioned At All Watermain Fittings
 - S : SMH : Surface Water Manhole
 - S : FMH : Foul Manhole

Wall Piers 0.6m sq. x 2.10m high solid blockwork



Plan
 2m High Block Wall, Capped And Plastered To Be Constructed Along This Boundary In Accordance With Planning Permission Ref: 02/586 Condition No.15

Proposed Bungalow Type Dwellings Here In Accordance With Planning Permission Ref: 02/586 Condition No.2

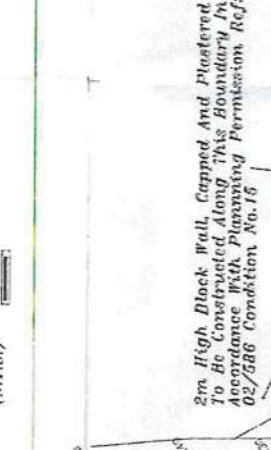


Boundary Treatment To Consist Of Front Boundary To Be Timber Post & Rail Fence Rear And Lateral Boundaries To Be 2m High Concrete Post & Timber Infill Panels Or Where Natural Hedge/Screen Exist These Are To Be Augmented

Lamp Posts

POSITION OF SITE NOTICE

POSITION OF SITE NOTICE



Boundary Treatment To Consist Of Front Boundary To Be Timber Post & Rail Fence Rear And Lateral Boundaries To Be 2m High Concrete Post & Timber Infill Panels Or Where Natural Hedge/Screen Exist These Are To Be Augmented

Proposed Bungalow Type Dwellings Here In Accordance With Planning Permission Ref: 02/586 Condition No.2



Total Area Of Site Outlined In Red = 4.353 Acres
 Total Area Of Site Outlined In Blue = 0.276 Acres

Extent Of Overall Development Site Which Was Originally Granted Planning Permission Under PL04/215 To Consist Of 4 No. Two Storey Semi-Detached Type Dwelling Houses And All Ancillary Site Works At Higginstown, Granard, Co Longford For

Extent Of Site For Which Planning Permission Is Now Being Sought Is Outlined In Blue

Please Note That Site Boundaries Which Are Outlined In Red & Blue Are Offset For Clarity Purposes

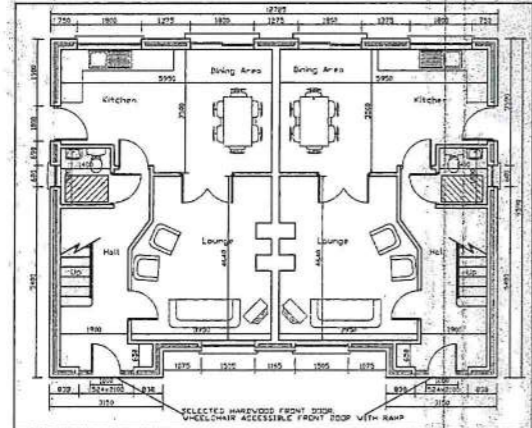
Hydnance Survey Ref: X/12



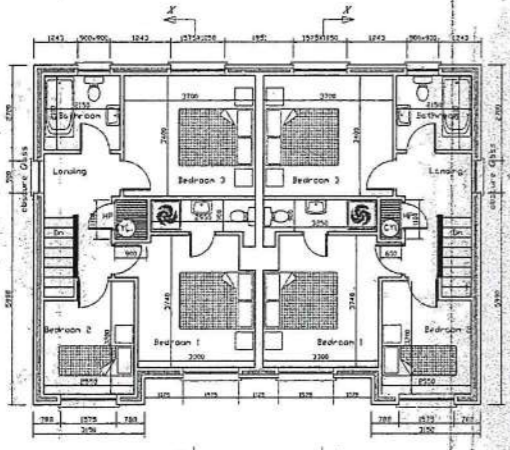
M Cunningham CONSULTING ENGINEERING LTD
 Mark Cunningham BSc, MSc, CEng, CEM, IEng
 Mobile: 087-880254
 Fax: 033-40460
 Email: cunnighammark@eircom.net
 Address: Market Square, Longford, Co. Longford.
 Registering for all Planning & Engineering Requirements

Site Layout (Boundary Treatment)

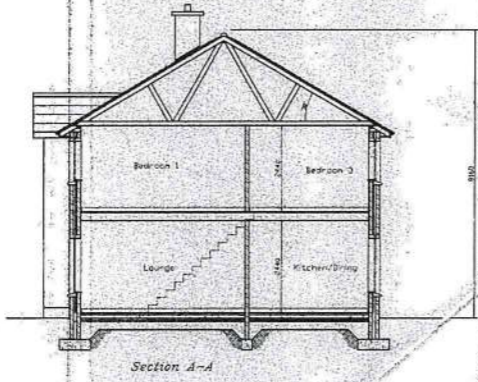
PLANNING SECTION RECEIVED 13 JAN 2008 LONGFORD COUNTY COUNCIL



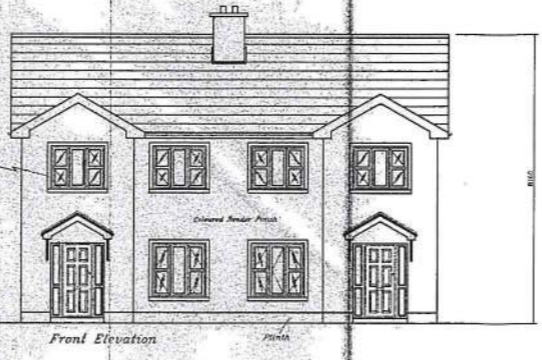
Ground Floor Plan
Floor Area: 1100 sq.ft



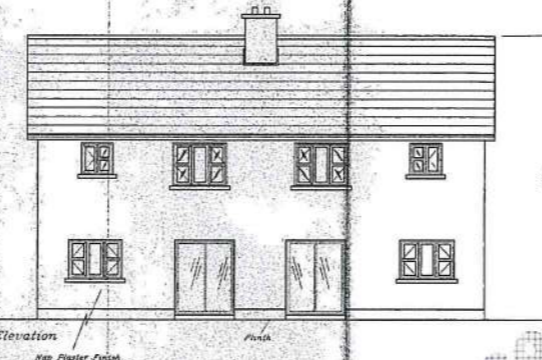
First Floor Plan



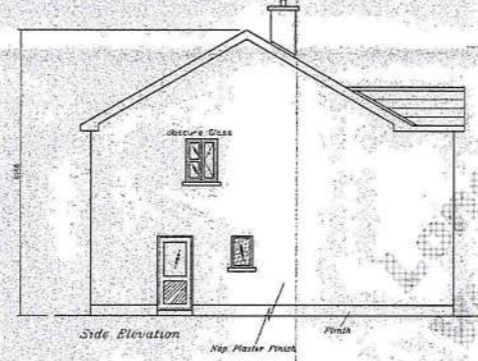
Section A-A



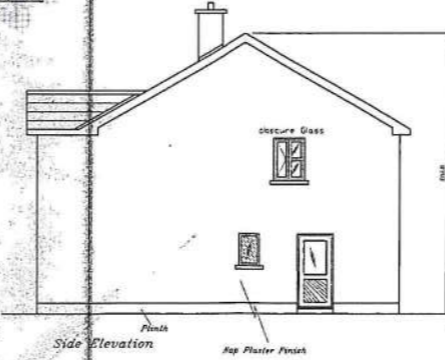
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

Standard Construction Guidelines

1. FOUNDATIONS
 (i) Top of foundation must 600mm min below ground level in any event the foundations must be excavated until soil with adequate bearing capacity is reached.
 (ii) Under no circumstances should foundations be poured during adverse weather conditions, such as frost or heavy rain.
 (iii) The base of all foundations must be level and all soft spots excavated until soil with adequate bearing capacity is reached. All surface water in the excavated foundations must be pumped out/drainage prior to the pouring of the foundations.
 (iv) 35N/mm concrete to be used in all foundations and floors with 20mm maximum size aggregate for foundations and 10mm maximum size aggregate for finished floors.
 (v) The dimensions of the external foundations for dwellings with ordinary timber first floor construction must be at least 1000mm x 400mm deep with 5 No. T12 steel bars or 2 No. T12 high yield reinforcing bars.
 (vi) The dimensions of the external foundations for dwellings with precast concrete floor construction must be at least 1200mm x 400mm deep with 7 No. T12 steel bars or 4 No. T12 with a layer of A593 mesh. The mesh must be cut so that 4 No. bars are provided throughout together with the 2 No. T12 high yield reinforcing bars.
 (vii) External foundations for dwellings with stone facing on a standard 150mm external cavity wall must be 1500mm wide, i.e. 3 times the width of the external wall x 400mm deep with 7 No. T12 steel bars or 3 No. T12 with a layer of A593 mesh. The mesh must be cut so that 4 No. bars are provided throughout together with the 3 No. T12 high yield reinforcing bars.
 (viii) Main load bearing internal wall foundations and party walls between semi-detached dwellings with ordinary timber floor construction must be at least 1000mm x 400mm deep with 5 No. T12 with a layer of A593 mesh. The mesh must be cut so that 4 No. bars are provided throughout together with the 2 No. T12 high yield reinforcing bars.
 (ix) Main load bearing internal foundations for dwellings with precast concrete floor construction must be at least 1200mm x 400mm deep with 7 No. T12 steel bars or 4 No. T12 with a layer of A593 mesh. The mesh must be cut so that 4 No. bars are provided throughout together with the 4 No. T12 high yield reinforcing bars.
 (x) Non load bearing internal walls must also have foundations of the same depth as the external foundations. However they can reduce to 600mm in width with 4 No. T12 high yield reinforcing bars.
 (xi) 75mm concrete must be provided to all reinforcement in the foundations using chairs/proprietary spacers with no cross bars protruding within 75mm of the side of the foundations.
 (xii) Reinforcing cranks must be located at a maximum of 1000mm centres and must not be anchored into the sides of the excavated foundations.
2. ROOF
 (a) 150mm Conc Slab With A142 Mesh Incorporated Throughout With 60mm Leaps Between Sheets
 (b) Kingspan Thermalfloor TFF0 50mm Thick Insulation
 (c) Radon Barrier With Drip and Vent Pipe
 (d) 50mm Sand Blinding
 (e) 450mm Sand Core Connected in 225mm Layers
3. EXTERNAL WALLS
 External walls to be constructed of block cavity wall and sized as indicated on elevations with 100mm clean and clear cavity fixed to internal leaf with 100 x 50mm timber noggins steel ties staggered 750mm horizontally & 450mm vertical. External plaster to be applied to both leaves to a minimum of 12.5mm thick.
4. EXTERNAL FINISHES
 (a) Top Plaster Finish/Natural Stone Finish
 (b) 100mm Block Wall
 (c) 100mm Cavity
 (d) Cavity Wall Insulation To Be Kingspan Thermalfloor TFF0 60mm Thick
 (e) 100mm Block Wall
5. RADON BARRIER
 Radon Barrier, Radon Sump & Vent Pipes to Current Irish Standards Must be Provided in Each Dwelling
 A 100mm Gap is to be Placed at 1.2m cts in the Rising Walls to Allow for Airflow Beneath the Floor in Order for Any Gases to Collect into the Sump and Be Disposed of Externally Through the Vent.
6. DPC
 Provide Horizontal DPC to Each Leaf of Cavity Wall Under Blockwork Partitions, to Chimney Breasts and to Chimney Stacks Below Roof Level.
 Provide DPC to all Levels to External Openings Stopped From Top of Inner Leaf to Outer Leaf.
 Provide DPC to all Vertical Joints at Abutting of Inner and Outer Leaves of Cavity Walls at Details.
 Provide DPC Under Cills Turned Up at Back and Ends.
 Provide DPC to Outer Leaf of Cavity Wall Under Blockwork Grouped Cavity of Head.
 Wall DPC to be a Min. of 150mm Above Finished Ground Level.
 Flashings - Cover Flashings, Flashing to Chimneys etc. to be Code & Lead BS 1178.
7. HOUSE INSULATION
External Wall
 Cavity Wall Insulation To Be Kingspan Thermalfloor TFF0 50mm Thick
Ground Floor Slab
 Kingspan Thermalfloor TFF0 Insulation 50mm Thick
Attic Insulation
 Kingspan ThermalPITCH TPI0 Roof Insulation 125mm Thick
8. EXTERNAL FINISHES
 (a) The Front Door and Surrounds Shall Be of A Timber Finish uPVC Or Aluminium. Shall Not Be Used.
 (b) There Shall Be No Dry Dash External Wall Finishes. All Walls and Chimney Stacks Shall Be Uniformly Finished Externally in either Natural Stone, Map Plaster, Wet Dash Or Coloured Render and Shall Be Light in Colour and/or With An Element of Natural Stone (artificial stone cladding or reconstructed stone materials shall not be used). Rendered Plaster Finishes Shall Be Rendered In a Uniform Neutral Colour Within Six Months of the Date of Completion or Occupancy of the Proposed Dwelling.
 (c) The Roof Shall Be Finished in Blue/Black Slates Or Tiles, with Ridge Tiles to Be of The Same Colour.
 (d) Window Cills on Facade Shall Have A Minimum Front Elevation Depth of 100mm.
9. FIRE ESCAPES
 Fire Escape Vents Windows To Allow For Future Attic Conversion. They Must Have An Unobstructed Opening of 600mm x 500mm Wide min. Bottom of Escape Window 1600mm max. Above Rafters Measured Along Slope of Roof. The Window Should Be Heavily Operable From The Inside. Bottom of Window Opening Between 600mm and 1100mm Above Floor Level.
10. ROOF CONSTRUCTION
 (i) The roof trusses must be placed at 600mm max. centres & adequately braced and fixed to the wall plate.
 (ii) A 75mm x 100mm treated timber wall plate must be either strapped or bolted at a maximum of every 1.2m centres to the cavity cleaver. If using wall straps then the straps must be secured to the wall plate by at least 4 courses of blockwork. If the wall plate is placed on top of the ceiling joists to gain additional height in the attic space then an infill block must be incorporated under the wall plate on top of the cavity cleaver between the joists. The wall plate must then be strapped on either side and level for trusses, joists etc. and fully bedded in fresh mortar in lengths of not less than 3m with half lap joints undrained with DPC for its entire length. In turn the trusses should be secured to the timber wall plate with Truss Clips fixed securely with 32 x 3.5mm galvanised or sherardised square twisted nails in every hole and to the joists so as to firmly secure the roof to the main structure.
 (iii) Irish approved approved felt must be used throughout overlapped with a special non-slip felt incorporated along the eaves and gable.
 (iv) No timber must be located within 50mm of the chimney/breast.
 (v) Permanent Bracing of Trussed Rafter: Fix 4 x 1 inch timber bracing and binders to every rafter, strut or tie with not less than two 75 x 3.5mm galvanised round wire nails. Any lap joints must be side by side extending over and nailed to at least two truss members. Where a binder crosses a brace, interrupt and plate the binder.
 (vi) Vertical Restraint Straps: Size 30 x 2.5mm, cross-section, 100mm cranked end and 1200mm long positioned at not more than 450mm centres. Fix the straps securely to masonry with not less than 5 screws evenly spaced. Locate at least one screw within 150mm of the bottom end of each strap.
 (vii) Lateral Restraint Straps: Size Not less than 30 x 5mm cross section, 150mm cranked end and 1200mm long. Fix the straps to top of joists/rafters/ties at not more than 450mm centres. Ensure that the cranked end is in tight contact with cavity face of wall inner leaf and is not pointing upwards. Fix the noggings and packs beneath straps. Noggings and packs to run parallel to wall. Noggings and packs to fit tightly, be not less than three quarters of joist/rafter/tie depth and at least 30mm thick. Nails joists so that straps fit flush with surface. Do not nail rafters/ties. Fix the straps to joists/rafters/ties with not less than four 30mm x 8 gauge sherardised countersunk screws evenly spaced.
 (viii) If using a cut roof then the rafters should be centred at a maximum of 600mm centres.
 (ix) First floor ceiling joists to be a minimum size of 175mm x 50mm for dormer bungalow and storey and a half type dwellings with 150mm x 50mm roof rafters for two storey dwellings and bungalow provided intermittent supports in the form of a prepped timber partition is provided.
 (x) First floor ceiling joists to be a minimum size of 150mm x 50mm.
 (xi) Collar ties to be a minimum size of 150mm x 50mm and be incorporated at every third rafter together with an inclined strut connecting the rafter to the ceiling joist so as to provide lateral restraint to the roof structure.
 (xii) 50mm x 75mm noggings must be incorporated with 100mm x 75mm timber struts providing adequate support to the surface. These 100mm x 75mm timber struts should rest on 100 x 50mm timber noggings. Concrete block internal walls or load bearing stud partitions which are adequately strengthened at the points of support with preferably steel beams under noggings. Please ensure that the 100mm x 75mm timber struts are supported on solid walls. The wall must be adequately secured where the timber struts rest with noggings.
 (xiii) If using stud partitions then they should be adequately strengthened where the joists are resting on the wall. These load bearing stud partitions should consist of 2 no. 42mm top and bottom with 42mm studs at 400mm centres adequately supported and secured with double steel joists or structural steel beams.
 (xiv) Rafter rafters must be 225 x 80mm in size, i.e. 2x2 inch.
 (xv) Ridge boards must be 175mm x 50mm in size, i.e. 7x2 inch.
 (xvi) Irish approved approved felt must be used throughout overlapped with a special non-slip felt incorporated along the eaves and gable along the ridge.
 (xvii) Main using a vertical first floor construction each rafter must be secured with a special strap in at least 4 courses of block together with the wall plate must be secured to the rafter with a minimum of 800mm centres.
11. STUD PARTITIONS
 All Stud Partitions To Be Constructed From 4 x 100 Timber Studs With 9mm Plasterboard With 3.3 Stm Finish Both Sides. To Be at 400 cts Vertical With Double Top and Bottom Wall Plate. Include Also For Sand Filling.
12. WINDOWS
 (a) Every Bedroom/Habitable Room Must Have A No. Five Escape Window With The Window Cill Above Finished Floor Level. Not Less Than 800mm (600mm in the case of a roof light) Above The Finished Floor Level. The Part Of The Window Must Not Open Onto A Fire Escape. See Homebond House Building Manual For Guidance.
 (b) Any Part Of A Window, Whether It Is A Five Escape Window Or Not, Must Have A Special Safety/Toughened Glass Incorporated In Same. If Needed It Height Of Less Than 600mm Above The Finished Floor Level. The Part Of The Window Must Not Open Onto A Fire Escape. See Homebond House Building Manual For Guidance.
 (c) In The Case Of A Dormer Window, The Distance From The Bottom Of The Roof To The Cill Of The Window Or Cill Of The Roof Light Should Be At Least 1.8m Measured Along The Slope Of The Roof.
 (d) No Turnkey Locks Should Be Fitted On Fire Escape Windows.
13. VENTILATION
 Ventilation to be provided in all rooms.
 Vent trays to be fitted between rafters for roof ventilation in dormer & half dwellings.
 Natural Ventilation
 Wall Vents To Be Provided in Each Room & in Rooms Where There is a Fireplace.
 Mechanical Ventilation
 Mechanical Ventilation To Be Provided in Kitchen, Utility, Bathroom, WC.
 Roof Ventilation
 10mm Continuous Ventilation Strip To Be Provided in Soffit Board.
14. DOOR HANDLES
 Door Handles should be located at a height of 900mm to 1000mm above floor level. Electric light switches should be located at a crotch height.
15. PROVISIONS TO BE MADE FOR ATTIC ACCESS
 Over Hallway/Landing Area
 Minimum 600 x 600 Ops
 Over Hallway/Landing Area
 Minimum 600 x 600 Ops
 20. If in any doubt about dimensions/construction details please consult ourselves before proceeding on further work.
 21. All drawings must be read in conjunction with the specification booklet and schedule of details provided.
16. E.S.B. REQUIREMENTS
 (i) Dwellings to have not more than 2 Electric Showers
 (ii) 200 litre minimum size cylinder in every dwelling house is a minimum requirement.
 (iii) The meter box must be positioned so that it is not more than 2m from the front wall of the dwelling house.

PLANNING SECTION
 RECEIVED
 29 JUN 2006
 LONGFORD COUNTY COUNCIL

All Drawings To Be Read In Strict Conjunction With Conditions of Planning In The Event Of A Successful Planning Application

Houses For Sites 5A, 5B, 5C, 5D

M. Cunningham
 CONSULTING ENGINEERING LTD.
 Contact:
 Mark Cunningham 084 954 01 01/01
 Mobile: 087-3109554
 Home: 043-40410
 Fax: 043-40451
 E-mail: cunnm@keshnet.ie
 Address:
 150/150a, 150a,
 Longford,
 Co. Longford.
 Colouring for all Planning & Engineering Requirements

PLANNING DRAWING ONLY
 NOTE - THIS DRAWING IS FOR PLANNING PURPOSES ONLY. ALL STRUCTURAL SITUATIONS MUST BE VERIFIED ON SITE BY ARCHITECT OR ENGINEER.

JOB NO: DRC NO: DRAWN BY: SCALE: REV: DATE:
 05 B.M.C.V. 1:100 - Jun '05

Proposed Re-Design Of Existing Partially Constructed Housing Development Which Was Recently Granted Planning Permission Under Planning Reference Number PL04/215 To Consist Of 4 No. Two Storey Semi-Detached Type Dwelling Houses And All Ancillary Site Works At Higginstown, Granard, Co Longford For Mr John Creegan.

Appendix C



Granard Zoning Map

County Development Plan 2021-2027



Legend

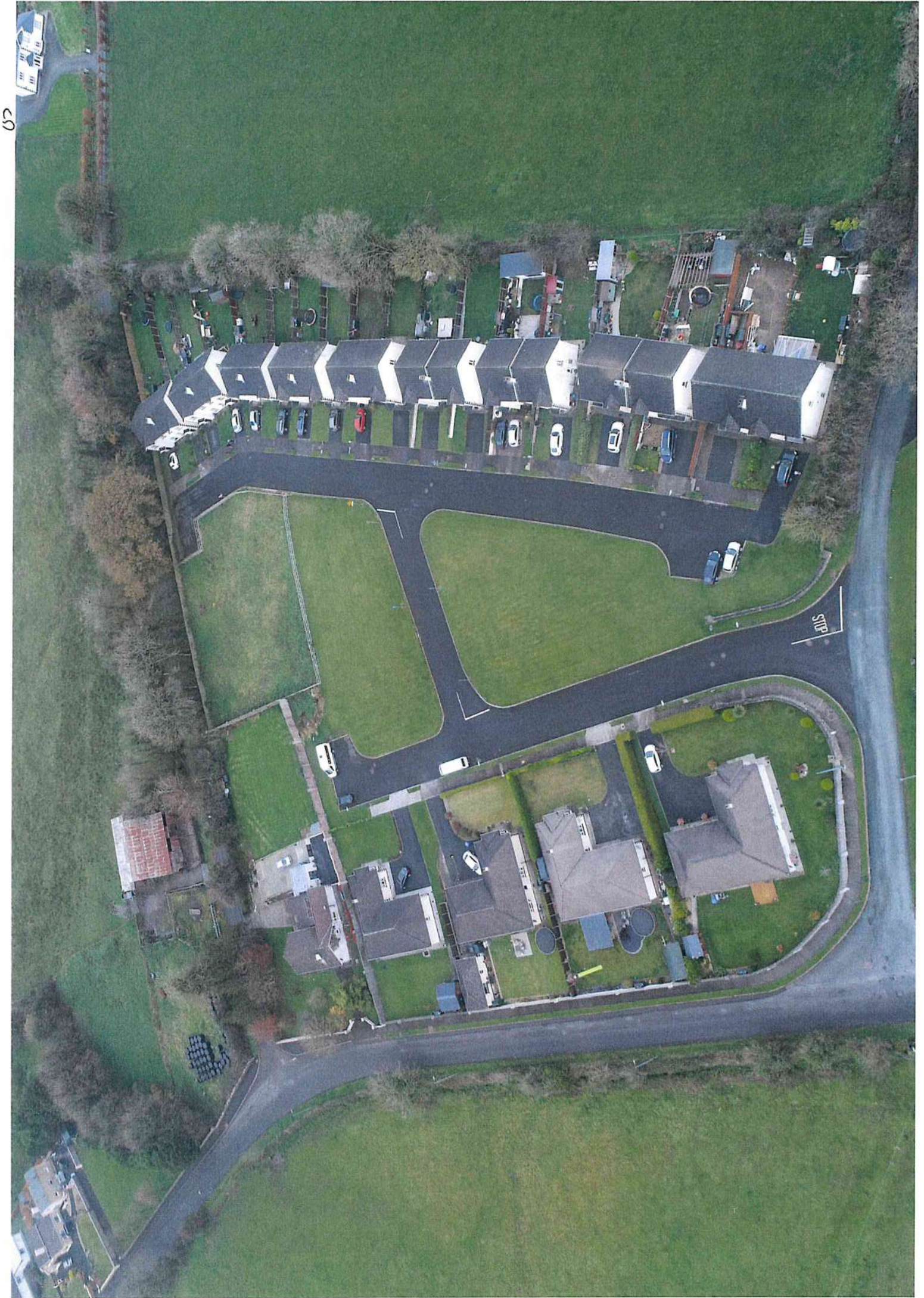
- Industrial/Commercial/Warehousing
- New Residential
- Recreation/Amenity & Green Spaces
- Residential
- Social/Community/Education
- Strategic Industrial Reserve
- Strategic Residential Reserve
- Tourism
- Town Core
- Transport & Utility Objective
- Proposed Service Road Granard

Notes:
Please note that every effort has been made to include the latest version of Ordnance Survey mapping available.

Queries on the accuracy of boundaries may be discussed and addressed at pre-planning stage with the Planning Authority.

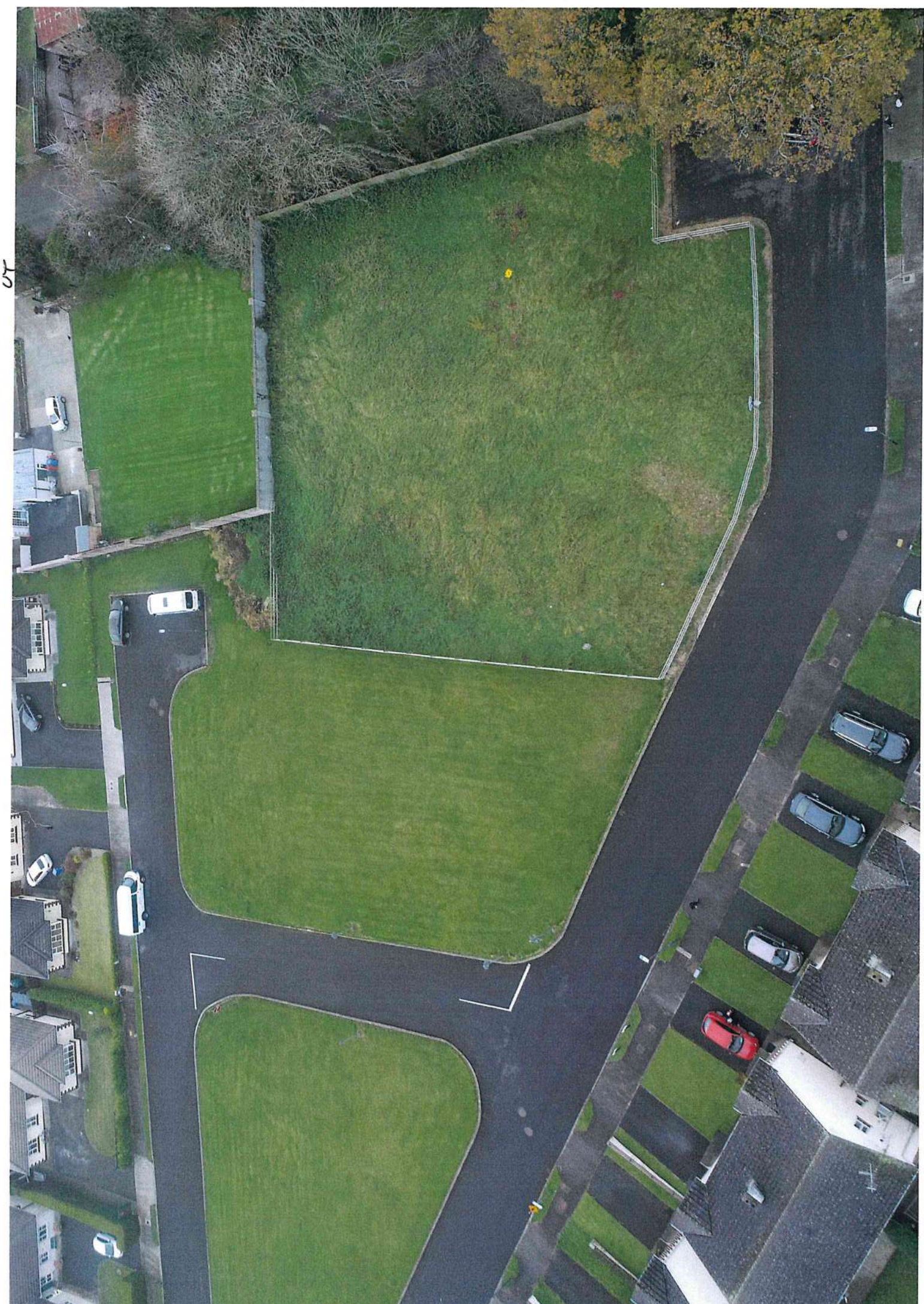


Appendix D



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