

Housing Department, Longford County Council, Town Hall, Market Square, Longford, N39 C5F2

Telephone Number: (043) 3343300 Email: Housing@longfordcoco.ie www.longfordcoco.ie

23/08/2024

Planning Department
Longford County Council
Aras an Chontae
Great Water Street,
Longford.

R.E. Further information for Part 8 no. 119 Lamagh, Newtownforbes, Co. Longford

A Dhaoine Uaisle,

Please find enclosed:

- Pre-connection enquiry form submitted to Uisce Eireann.
- Response to Further Information submitted to Uisce Eireann
- Revised Drainage and Water main drawings submitted to Uisce Eireann
- Site Location map submitted to Uisce Eireann.
- Confirmation of Feasibility received from Uisce Eireann regarding the revised proposals.
- CCTV Survey Report of the existing foul sewer crossing the site.
- Response to submission from David & Melissa O'Reilly
- Site plan showing the existing buildings overlaid onto the proposed plan

We also confirm as per Uisce Eireann requirements that we are connecting the foul sewer to the existing network and WWTP as per the revised drawings and NOT the pumping station as previously shown.

We have responded to all of Uisce Eireann Observations and trust the attached covers all of their concerns. The CCTV survey shows some damage to the existing foul sewer in two locations. These damaged sections are within the site and part of the section of sewer to be made redundant. The remainder of the foul sewer is in acceptable service condition. This remaining section however may require an upgrade subject to Uisce Eireann requirements.

We also include comments on the submission from David & Melissa O'Reilly.

Yours faithfully,



Orla Maguire,
Senior Executive Engineer
Housing Department

Pre-connection enquiry form

Business developments, mixed use developments, housing developments



This form is to be filled out by applicants enquiring about the feasibility of a water and/or wastewater connection to Irish Water infrastructure. If completing this form by hand, please use BLOCK CAPITALS and black ink. Please note that this is a digital PDF form and can be filled in electronically

Please refer to the **Guide to completing the pre-connection enquiry form** on page 14 of this document when completing the form.

*** Denotes mandatory/ required field. Please note, if mandatory fields are not completed the application will be returned.**

Section A | Applicant details

1 *Applicant details:

Registered company name (if applicable):

Trading name (if applicable):

Company registration number (if applicable):

Parent company registered company name (if applicable):

Parent company registration number (if applicable):

If you are not a registered company/business, please provide the applicant's name:

*Contact name:

*Postal address:

*Eircode:

Please provide either a landline or a mobile number

Landline:

*Mobile:

*Email:

2 Agent details (if applicable):

The fields marked with * in this section are mandatory if using an agent

*Contact name:

Company name (if applicable):

*Postal address:

*Eircode:

Please provide either a landline or a mobile number

Landline:

*Mobile

*Email:

3 *Please indicate whether it is the applicant or agent who should receive future correspondence in relation to the enquiry:

Applicant

Agent

Section B | Site details

4 *Site address 1 (include Site name/Building name/Building number):

*Address 2

*Address 3

*City/Town

*County Eircode

5 *Irish Grid co-ordinates (proposed connection point):

Eastings (X) Northings (Y)

Note: Values for Eastings must be between 015,900 and 340,000. Northings, between 029,000 and 362,000
Eg. co-ordinates of GPO, O'Connell St., Dublin: E(X) 315,878 N(Y) 234,619

6 *Local Authority where proposed development is located:

7 *Has full planning permission been granted? Yes ☐ No ☐

If 'Yes', please provide the current or previous planning reference number:

Yes ☐ No ☐

[illegible]

Section C | Development details

Domestic:

Property type	Number of units	Property type	Number of units
House		Apartments	
Duplex		Number of Apartment Blocks	

Property type	Number of units	Property type	Number of units
Agricultural		Brewery / Distillery	
Restaurant / Café / Pub		Car Wash / Valeting	
Creche		Data Centre	
Fire Hydrant		Fire Station	
Food Processing		Hotel Accommodation	
Industrial / Manufacturing		Laundry / Laundrette	
Office		Primary Care Centre	
Residential / Nursing Care Home		Retail	
School		Sports Facility	
Student Accommodation		Warehouse	

Other (please specify type)	No. of Units
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[illegible]

- [illegible]

Section D | Water connection and demand details

- 13 *Is there an existing connection to public water mains at the site?** Yes ☐ No ☐
- 13.1** If yes, is this enquiry for an additional connection to one already installed? Yes ☐ No ☐
- 13.2** If yes, is this enquiry to increase the size of an existing connection? Yes ☐ No ☐

14 Approximate date water connection is required: / /

15 *What diameter of water connection is required to service the development? mm

16 *Is more than one connection required to the public infrastructure to service this development? Yes ☐ No ☐

If 'Yes', how many?

17 Please indicate the business water demand (shops, offices, schools, hotels, restaurants, etc.):

Post-development peak hour water demand		l/s
Post-development average hour water demand		l/s

Please include calculations on the attached sheet provided. Where there will be a daily/weekly/seasonal variation in the water demand profile, please provide all such details.

18 Please indicate the industrial water demand (industry-specific water requirements):

Post-development peak hour water demand		l/s
Post-development average hour water demand		l/s

Please include calculations on the attached sheet provided. Where there will be a daily/weekly/seasonal variation in the water demand profile, please provide all such details.

19 What is the existing ground level at the property boundary at connection point (if known) above Malin Head Ordnance Datum?

m

20 What is the highest finished floor level of the proposed development above Malin Head Ordnance Datum?

m

21 Is on-site water storage being provided? Yes ☐ No ☐

Please include calculations on the attached sheet provided.

22 Are there fire flow requirements?

Yes ☐No ☐

Additional fire flow requirements over and above those identified in Q17-18		I/s
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Please include calculations on the attached sheet provided, and include confirmation of requirements from the Fire Authority.

23 Do you propose to supplement your potable water supply from other sources?

Yes ☐No ☐

If 'Yes', please indicate how you propose to supplement your potable water supply from other sources (see **Guide to completing the application form** on page 15 of this document for further details):

[illegible]

Section E | Wastewater connection and discharge details

24 *Is there an existing connection to a public sewer at the site?

Yes ☐No ☐

24.1 If yes, is this enquiry for an additional connection to the one already installed?

Yes ☐No ☐

24.2 If yes, is this enquiry to increase the size of an existing connection?

Yes ☐No ☐

25 ***Approximate date that wastewater connection is required:**

26 ***What diameter of wastewater connection is required to service the development?**

mm

27 *Is more than one connection required to the public infrastructure to service this development?

Yes ☐No ☐

If 'Yes', how many?

--	--

28 Please indicate the commercial wastewater hydraulic load (shops, offices, schools, hotels, restaurants, etc.):

Post-development peak discharge		l/s
Post-development average discharge		l/s

Please include calculations on the attached sheet provided.

29 Please indicate the industrial wastewater hydraulic load (industry-specific discharge requirements):

Post-development peak discharge		l/s
Post-development average discharge		l/s

Please include calculations on the attached sheet provided.

30 Wastewater organic load:

Characteristic	Max concentration (mg/l)	Average concentration (mg/l)	Maximum daily load (kg/day)
Biochemical oxygen demand (BOD)			
Chemical oxygen demand (COD)			
Suspended solids (SS)			
Total nitrogen (N)			
Total phosphorus (P)			
Other			

Temperature range	
pH range	

31 *Storm water run-off will only be accepted from brownfield sites that already have a storm/surface water connection to a combined sewer. In the case of such brownfield sites, please indicate if the development intends discharging surface water to the combined wastewater collection system:

Yes ☐ No ☐

If 'Yes', please give reason for discharge and comment on adequacy of SUDS/attenuation measures proposed.

[illegible]

Please submit detailed calculations on discharge volumes, peak flows and attenuation volumes with this application

32 *Do you propose to pump the wastewater? Yes ☐ No ☐

If 'Yes', please include justification for your pumped solution with this application.

33 What is the existing ground level at the property boundary at connection point (if known) above Malin Head Ordnance Datum?

--	--	--	--	--	--

A horizontal row of five adjacent squares representing lattice sites. To the right of the row is the label m .

34 What is the lowest finished floor level on site above Malin Head Ordnance Datum?

--	--	--	--	--

 m

m

35 What is the proposed invert level of the pipe exiting the property to the public road?

--	--	--	--	--

 m

Section F | Supporting documentation

Please provide the following additional information (all mandatory):

- > Site location map: A site location map to a scale of 1:1000, which clearly identifies the land or structure to which the enquiry relates. The map shall include the following details:
 - i. The scale shall be clearly indicated on the map.
 - ii. The boundaries shall be delineated in red.
 - iii. The site co-ordinates shall be marked on the site location map.
- > Details of planning and development exemptions (if applicable).
- > Calculations (calculation sheets provided below).
- > Site layout map to a scale of 1:500 showing layout of proposed development, water network and wastewater network layouts, additional water/wastewater infrastructure if proposed, connection points to Irish Water infrastructure.
- > Conceptual design of the connection asset from the proposed development to the existing Irish Water infrastructure, including service conflicts, gradients, pipe sizes and invert levels.
- > Any other information that might help Irish Water assess this pre-connection enquiry.

Section G | Declaration

I/We hereby make this application to Irish Water for a water and/or wastewater connection as detailed on this form.

I/We understand that any alterations made to this application must be declared to Irish Water.

The details that I/we have given with this application are accurate.

I/We have enclosed all the necessary supporting documentation.

Any personal data you provide will be stored and processed by Irish Water and may be transferred to third parties for the purposes of the water and/or wastewater connection process. I hereby give consent to Irish Water to store and process my personal data and to transfer my personal data to third parties, if required, for the purposes of the connection process.

If you wish to revoke consent at any time or wish to see Irish Water's full Data Protection Notice, please see <https://www.water.ie/privacy-notice/>

Signature:

Date:

Your full name (in BLOCK CAPITALS):

[illegible]

Irish Water will carry out a formal assessment based on the information provided on this form.
Any future connection offer made by Irish Water will be based on the information that has been provided here.

Please submit the completed form to **newconnections@water.ie** or alternatively, post to:

**Irish Water
PO Box 860
South City Delivery Office
Cork City**

Please note that if you are sending us your application form and any associated documentation by email, the maximum file size that we can receive in any one email is 35MB.

Please note, if mandatory fields are not completed the application will be returned.

Irish Water is subject to the provisions of the Freedom of Information Act 2014 ("FOIA") and the codes of practice issued under FOIA as may be amended, updated or replaced from time to time. The FOIA enables members of the public to obtain access to records held by public bodies subject to certain exemptions such as where the requested records may not be released, for example to protect another individual's privacy rights or to protect commercially sensitive information. Please clearly label any document or part thereof which contains commercially sensitive information. Irish Water accepts no responsibility for any loss or damage arising as a result of its processing of freedom of information requests.

Calculations

Water demand

On-site storage

Fire flow requirements





Guide to completing the pre-connection enquiry form

This form should be completed by applicants enquiring about the feasibility of a water and/or wastewater connection to Irish Water infrastructure.

The Irish Water Codes of Practice are available at www.water.ie for reference.

Section A | Applicant Details

- Question 1:** This question requires the applicant or company enquiring about the feasibility of a connection to identify themselves, their postal address, and to provide their contact details.
- Question 2:** If the applicant has employed a consulting engineer or an agent to manage the enquiry on their behalf, the agent's address and contact details should be recorded here.
- Question 3:** Please indicate whether it is the applicant or the agent who should receive future correspondence in relation to the enquiry.

Section B | Site details

- Question 4:** This is the address of the site requiring the water/wastewater service connection and for which this enquiry is being made.
- Question 5:** Please provide the Irish Grid co-ordinates of the proposed site. Irish grid positions on maps are expressed in two dimensions as Eastings (E or X) and Northings (N or Y) relative to an origin. You will find these coordinates on your Ordnance Survey map which is required to be submitted with an application.
- Question 6:** Please identify the Local Authority that is or will be dealing with your planning application, for example Cork City Council.
- Question 7:** Please indicate if planning permission has been granted for this application, and if so, please provide the planning permission reference number.
- Question 8:** Please indicate if this development is affiliated with a government body/agency, and if so, specify

Section C | Development details

- Question 9:** Please specify the number of different property/premises types by filling in the tables provided.
- Question 9.1:** Please provide additional details if your proposed business use are in the Food Processing, Industrial unit/ Manufacturing, Sports Facility or Other Categories.
- Question 9.2:** Please indicate the maximum expected occupancy in numbers of people according to the proposed development you selected.
- Question 10:** Please indicate the approximate commencement date of works on the development.
- Question 11:** Please indicate if a phased building approach is to be adopted when developing the site. If so, please provide details of the phase master-plan and the proposed variation in water demand/wastewater discharge as a result of the phasing of the development.
- Question 12:** Please indicate the type of connection required by ticking the appropriate box and proceed to complete the appropriate section or sections.

Section D | Water connection and demand details

- Question 13:** Please indicate if a water connection already exists for this site.
- Question 13.1:** Please indicate if this enquiry concerns an additional connection to one already installed on the site.
- Question 13.2:** Please indicate if you are proposing to upgrade the water connection to facilitate an increase in water demand. Irish Water will determine what impact this will have on our infrastructure.
- Question 14:** Please indicate the approximate date that the proposed connection to the water infrastructure will be required.
- Question 15:** Please indicate what diameter of water connection is required to service this development.

- Question 16:** Please indicate if more than one connection is required to service this development. Please note that the connection size provided may be used to determine the connection charge.
- Question 17:** If this connection enquiry concerns a business premises, please provide calculations for the water demand and include your calculations on the calculation sheet provided. Business premises include shops, offices, hotels, schools, etc. Demand rates (peak and average) are site specific. Average demand is the total daily volume divided by a 24-hour time period and expressed in litres per second (l/s). For design purposes, please refer to the Irish Water Codes of Practice for Water Infrastructure.
- Question 18:** If this connection enquiry is for an industrial premises, please calculate the water demand and include your calculations on the calculation sheet provided. Demand rates (peak and average) are site specific. Average demand is the total daily volume divided by a 24-hour time period and expressed in litres per second (l/s). The peak demand for sizing of the pipe network will be as per the specific business production requirements. For design purposes, please refer to the Irish Water Codes of Practice for Water Infrastructure.
- Question 19:** Please specify the ground level at the location where connection to the public water mains will be made. This is required in order to determine if there is sufficient pressure in the existing water infrastructure to serve your proposed development. Levels should be quoted in metres relative to Malin Head Ordnance Datum.
- Question 20:** Please specify the highest finished floor level on site. This is required in order to determine if there is sufficient pressure in the existing water infrastructure to serve your proposed development. Levels should be quoted in metres relative to Malin Head Ordnance Datum.
- Question 21:** If storage is required, water storage capacity of 24-hour water demand must usually be provided at the proposed site. In some cases, 24-hour storage capacity may not be required, for example 24-hour storage for a domestic house would be provided in an attic storage tank. Please calculate the 24-hour water storage requirements and include your calculations on the attached sheet provided. Please also confirm that on-site storage is being provided by ticking the appropriate box.
- Question 22:** The water supply system shall be designed and constructed to reliably convey the water flows that are required of the development including fire flow requirements by the Fire Authority. The Fire Authority will provide the requirement for fire flow rates that the water supply system will have to carry. Please note that while flows in excess of your required demand may be achieved in the Irish Water network and could be utilised in the event of a fire, Irish Water cannot guarantee a flow rate to meet your fire flow requirement. To guarantee a flow to meet the Fire Authority requirements, you should provide adequate fire storage capacity within your development. Please include your calculations on the attached sheet provided, and further provide confirmation of the Fire Authority requirements.
- Question 23:** Please identify proposed additional water supply sources, that is, do you intend to connect to the public water mains or the public mains and supplement from other sources? If supplementing public water supply with a supply from another source, please provide details as to how the potable water supply is to be protected from cross contamination at the premises.

Section E | Wastewater connection and discharge details

- Question 24:** Please indicate if a wastewater connection to a public sewer already exists for this site.
- Question 24.1:** Please indicate if this enquiry relates to an additional wastewater connection to one already installed.
- Question 24.2:** Please indicate if you are proposing to upgrade the wastewater connection to facilitate an increased discharge. Irish Water will determine what impact this will have on our infrastructure.
- Question 25:** Please specify the approximate date that the proposed connection to the wastewater infrastructure will be required.
- Question 26:** Please indicate what diameter of wastewater connection is required to service this development.
- Question 27:** Please indicate if more than one connection is required to service this development. Please indicate number required.
- Question 28:** If this enquiry relates to a business premises, please provide calculations for the wastewater discharge and include your calculations on the attached sheet provided. Business premises include shops, offices, hotels, schools, etc. Discharge rates (peak and average) are site specific. Average discharge is the total daily volume divided by a 24-hour time period and expressed in litres per second (l/s). For design purposes, please refer to the Irish Water Codes of Practice for Wastewater Infrastructure.

- Question 29:** If this enquiry relates to an industrial premises, please provide calculations for the wastewater discharge and include your calculations on the calculation sheet provided. Discharge rates (peak and average) are site specific. Average discharge is the total daily volume divided by a 24-hour time period and expressed in litres per second (l/s). The peak discharge for sizing of the pipe network will be as per the specific business production requirements. For design purposes, please refer to the Irish Water Codes of Practice for Wastewater Infrastructure.
- Question 30:** Please specify the maximum and average concentrations and the maximum daily load of each of the wastewater characteristics listed in the wastewater organic load table (if not domestic effluent), and also specify if any other significant concentrations are expected in the effluent. Please complete the table and provide additional supporting documentation if relevant. Note that the concentration shall be in mg/l and the load shall be in kg/day. Note that for business premises (shops, offices, schools, hotels, etc.) for which only domestic effluent will be discharged (excluding discharge from canteens/restaurants which would require a Trade Effluent Discharge licence), there is no need to complete this question.
- Question 31:** In exceptional circumstances, such as brownfield sites, where the only practical outlet for storm/surface water is to a combined sewer, Irish Water will consider permitting a restricted attenuated flow to the combined sewer. Storm/surface water will only be accepted from brownfield sites that already have a storm/surface water connection to a combined sewer and the applicant must demonstrate how the storm/surface water flow from the proposed site is minimised using sustainable urban drainage system (SUDS). This type of connection will only be considered on a case by case basis. Please advise if the proposed development intends discharging surface water to the combined wastewater collection system.
- Question 32:** Please specify if the development needs to pump its wastewater discharge to gain access to Irish Water infrastructure.
- Question 33:** Please specify the ground level at the location where connection to the public sewer will be made. This is required to determine if the development can be connected to the public sewer via gravity discharge. Levels should be quoted in metres relative to Malin Head Ordnance Datum.
- Question 34:** Please specify the lowest floor level of the proposed development. This is required in order to determine if the development can be connected to the public sewer via gravity discharge. Levels should be quoted in metres relative to Malin Head Ordnance Datum.
- Question 35:** Please specify the proposed invert level of the pipe exiting the property to the public road.

Section F | Supporting documentation

Please provide additional information as listed.

Section G | Declaration

Please review the declaration, sign, and return the completed application form to Irish Water by email or by post using the contact details provided in Section G.

Part 8, No.119 – Lamagh, Newtownforbes.

Proposed Demolition of 1 No. existing single storey dwelling and 2 No. outbuildings. Construction of 2 No. 2 Bedroom semi-detached single storey houses and 4 No. 2-Bedroom semi-detached two storey houses, including boundary walls/fences, car parking, pedestrian entrances, landscaping, connection to existing services and associated site works at Lamagh, Newtownforbes, Co Longford.

Further Information Response (Uisce Éireann submission)

Uisce Éireann's Assessment/Observation(s):

In order to assess the feasibility of a connection to public water/wastewater infrastructure further information is requested as follows;

1) The applicant is required to engage with Uisce Éireann through the submission of a Pre-Connection Enquiry (PCE) in order to determine the feasibility of connection to the public water/wastewater infrastructure. The Confirmation of Feasibility (COF) must be submitted to the planning department as the response to this further information request.

LCC response: Agreed application will be submitted.

2) The foul sewer is to be redesigned to connect to the public sewer located to the West of the proposed development. The Applicant is to liaise with UÉ personnel before submitting further information. Invert and Cover levels for the proposed sewers are to be shown.

LCC response: Please refer to revised drainage drawing.

3) The applicant is required to submit a revised watermain design. What is the purpose of the new 100mm watermain serving 2no. units. Two separate connections to the existing public main would be more advantageous. All existing service connections are to be shown on drawings and a description of how they are to be dealt with.

LCC response: Please refer to revised drainage drawing.

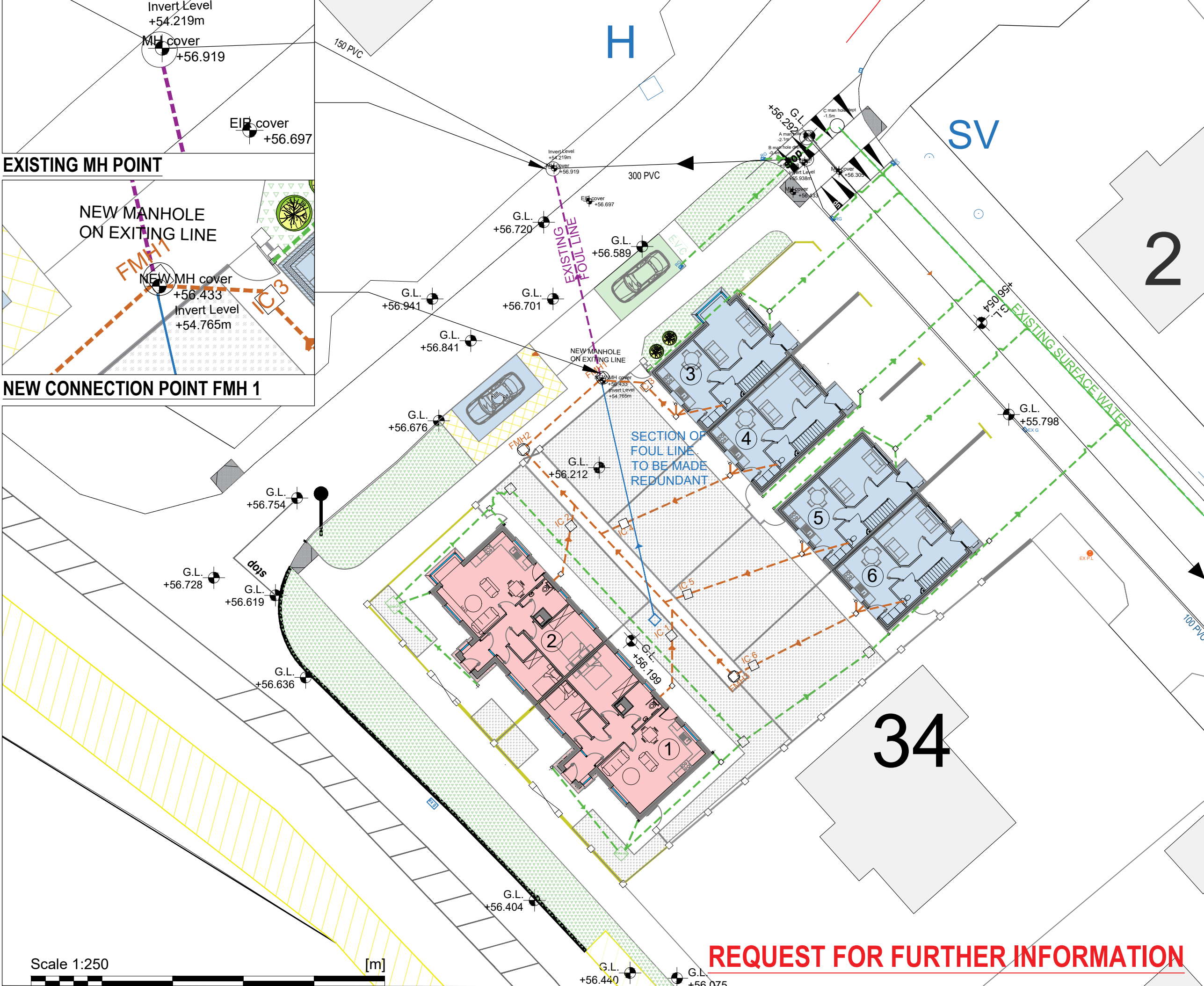
4) The Applicant should liaise with Uisce Éireann personnel before submitting further information.

LCC response: Revised drawing to be issued to Uisce Éireann as requested.

Is mise le meas



Housing Department,
Longford County Council,
Town Hall,
Market Square,
Longford, Co. Longford.
N39 C5F2

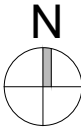


EXISTING MH POINT

NEW MANHOLE
ON EXISTING LINE

NEW CONNECTION POINT FMH 1

- NOTE:**
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 4. Where this drawing contains discrepancies in relation to other relevant documents, such discrepancies shall be brought to the attention of the Longford County Council - (Housing Section).



PROPOSED SURFACE WATER
CONNECTION INTO EXISTING SURFACE WATER
PIPE AT THIS LOCATION

PROPOSED FOUL SYSTEM LAYOUT
CONNECTION INTO EXISTING MAIN PIPE AT LOCATION
SHOWN.

LEGEND

Site Boundary:	
EXTRACT FROM LONGFORD O.S. 2230B	
Type A (2 bed 2 storey) 4 no.	
Type B (2 bed 1 storey) 2 no.	
Boundary Box	BB
Existing Road Gully	EX G
Proposed Road Gully	RG
Sluice Valve	SV
Existing Hydrant	H
Proposed Hydrant	NEW H

rev: description: date: by

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O 2024/OSI NMA 145



LONGFORD COUNTY COUNCIL
HOUSING SECTION

Town Hall, Market Square, Longford.
Tel: +353 (0)43 3343300 Email: info@longfordcoco.ie

PROJECT:
Lamagh, Newtownforbes
Co. Longford

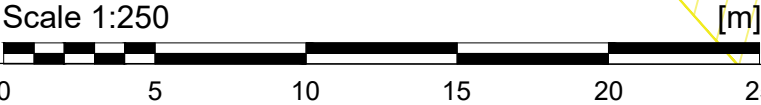
DRAWING:
PROPOSED DRAINAGE PLAN

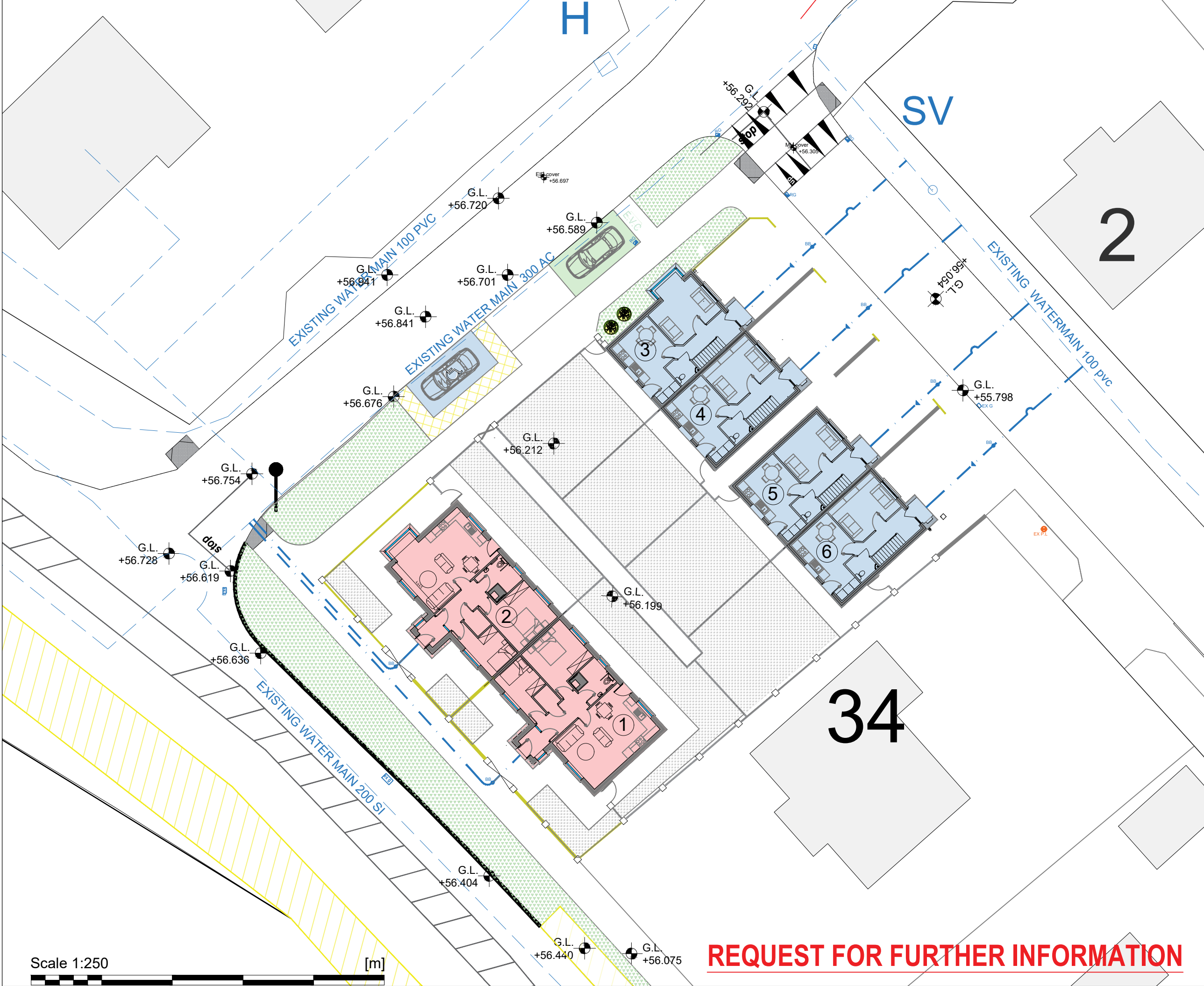
Date: JULY 24 Scale: 1:250 Drg No: LCC-LN-06

Drawn by:MM Checked: DK Revision:

STATUS: PART 8

REQUEST FOR FURTHER INFORMATION





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PROPOSED MAINS WATER
CONNECTION INTO NEW PROPOSED BUILDINGS AT MAIN PIPE AS SHOWN.

LEGEND

Site Boundary:	
EXTRACT FROM LONGFORD O.S. 2230B	
Type A (2 bed 2 storey) 4 no.	
Type B (2 bed 1 storey) 2 no.	
Boundary Box	BB
Existing Road Gully	EX G
Proposed Road Gully	RG
Sluice Valve	SV
Existing Hydrant	H
Proposed Hydrant	NEW H

rev.	description:	date:	by

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AN LONGFORD CONNECTED
Comhairle Chontae An Longfoirt
Longford County Council

LONGFORD COUNTY COUNCIL
HOUSING SECTION
Town Hall, Market Square, Longford.
Tel: +353 (0)43 3343300 Email: info@longfordcoco.ie

PROJECT:
Lamagh, Newtownforbes
Co. Longford

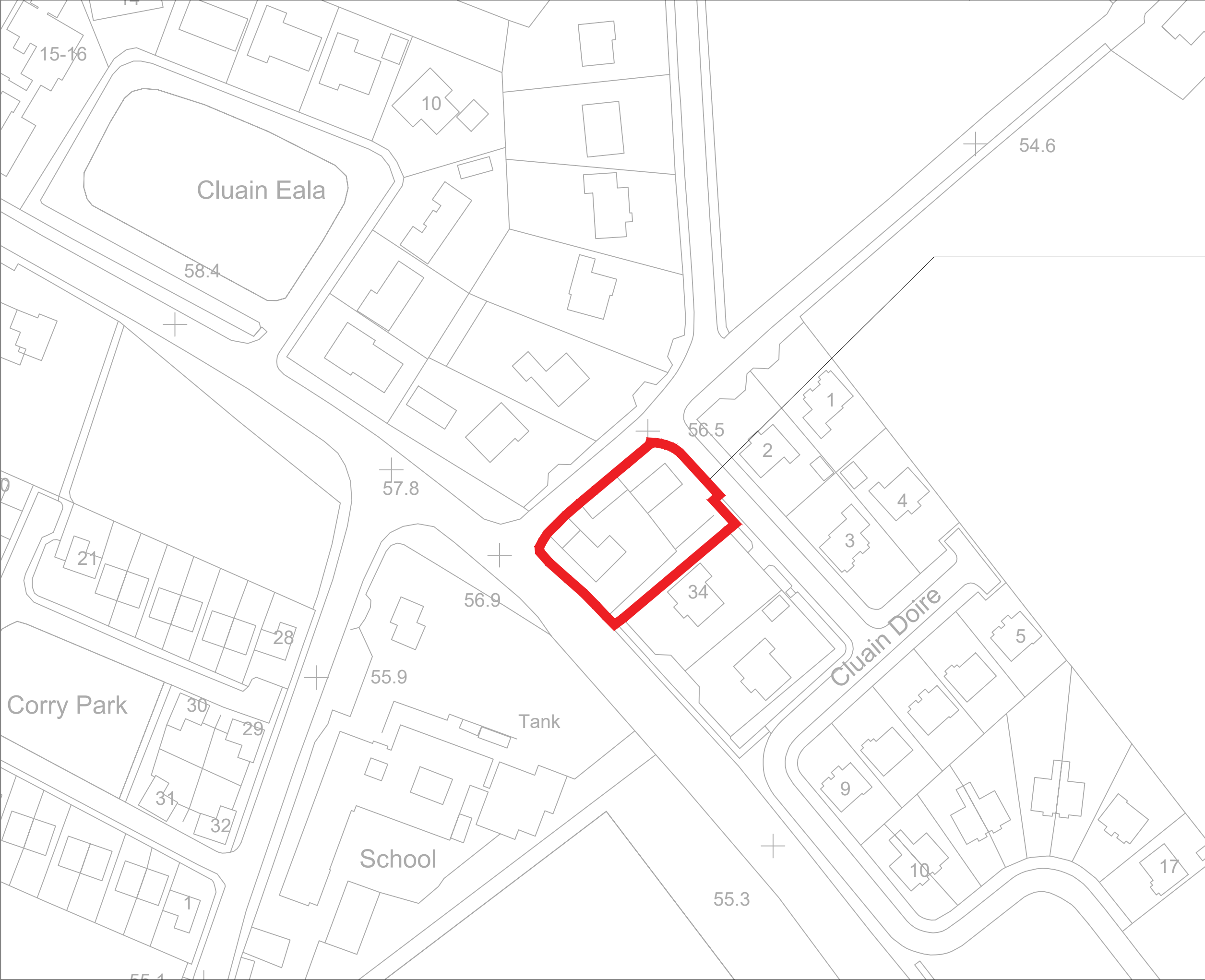
DRAWING:
PROPOSED WATER PLAN

Date: JU;LY 24	Scale: 1:250	Drg No: LCC-LN-06A
Drawn by:MM	Checked: DK	Revision:

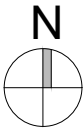
STATUS: PART 8



REQUEST FOR FURTHER INFORMATION



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SITE LOCATION

Site Co-ordinate:
xy: 611035, 779282

LEGEND

Site Boundary: 

EXTRACT FROM LONGFORD O.S. 2230B

rev:	description:	date:	by
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O 2024/OSI NMA 145



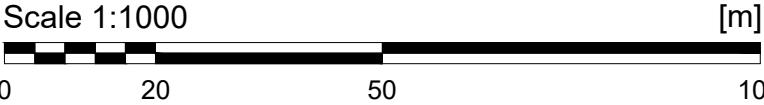
LONGFORD COUNTY COUNCIL
HOUSING SECTION

Town Hall, Market Square, Longford.
Tel: +353 (0)43 3343300 Email : info@longfordcoco.ie

PROJECT: CDS24006256
Lamagh, Newtownforbes
Co. Longford

DRAWING:
SITE LOCATION

Date: JULY 24	Scale: 1:1000	Drg No: LCC-LN-00
Drawn by:MM	Checked: D.K	Revision:
STATUS: CDS24006256/Lamagh, Newtownforbes		



CONFIRMATION OF FEASIBILITY

Declan Kenny
Housing Capital
Longford County Council Town Hall
Market Square
Co. Longford
N39NH56

Uisce Éireann
Bosca OP 448
Oifig Sheachadta na
Cathrach Theas
Cathair Chorcaí

Uisce Éireann
PO Box 448
South City
Delivery Office
Cork City

www.water.ie

26 July 2024

**Our Ref: CDS24006256 Pre-Connection Enquiry
Lamagh, Newtownforbes, Co. Longford**

Dear Applicant/Agent,

We have completed the review of the Pre-Connection Enquiry.

Uisce Éireann has reviewed the pre-connection enquiry in relation to a Water & Wastewater connection for a Housing Development of 6 unit(s) at Lamagh, Newtownforbes, Co. Longford, (the **Development**).

Based upon the details provided we can advise the following regarding connecting to the networks;

- **Water Connection** - Feasible without infrastructure upgrade by Irish Water
- **Wastewater Connection** - Feasible without infrastructure upgrade by Irish Water

This letter does not constitute an offer, in whole or in part, to provide a connection to any Uisce Éireann infrastructure. Before the Development can be connected to our network(s) you must submit a connection application and be granted and sign a connection agreement with Uisce Éireann.

As the network capacity changes constantly, this review is only valid at the time of its completion. As soon as planning permission has been granted for the Development, a completed connection application should be submitted. The connection application is available at www.water.ie/connections/get-connected/

Stiúrthóirí / Directors: Tony Keohane (Cathaoirleach / Chairman), Niall Gleeson (POF / CEO), Christopher Banks, Fred Barry, Gerard Britchfield, Liz Joyce, Patricia King, Eileen Maher, Cathy Mannion, Michael Walsh.

Oifig Chláraithe / Registered Office: Teach Colvill, 24-26 Sráid Thalbóid, Baile Átha Cliath 1, D01 NP86 / Colvill House, 24-26 Talbot Street, Dublin, Ireland D01NP86

Is cuideachta ghníomhaíochta ainmnithe atá faoi theorainn scaireanna é Uisce Éireann / Uisce Éireann is a design activity company, limited by shares. Cláraithe in Éirinn Uimh.: 530363 / Registered in Ireland No.: 530363.


Where can you find more information?

- **Section A** - What is important to know?

This letter is issued to provide information about the current feasibility of the proposed connection(s) to Uisce Éireann's network(s). This is not a connection offer and capacity in Uisce Éireann's network(s) may only be secured by entering into a connection agreement with Uisce Éireann.

For any further information, visit www.water.ie/connections, email newconnections@water.ie or contact 1800 278 278.

Yours sincerely,



Dermot Phelan
Connections Delivery Manager

Section A - What is important to know?

What is important to know?	Why is this important?
Do you need a contract to connect?	<ul style="list-style-type: none"> • Yes, a contract is required to connect. This letter does not constitute a contract or an offer in whole or in part to provide a connection to Uisce Éireann's network(s). • Before the Development can connect to Uisce Éireann's network(s), you must submit a connection application <u>and be granted and sign</u> a connection agreement with Uisce Éireann.
When should I submit a Connection Application?	<ul style="list-style-type: none"> • A connection application should only be submitted after planning permission has been granted.
Where can I find information on connection charges?	<ul style="list-style-type: none"> • Uisce Éireann connection charges can be found at: https://www.water.ie/connections/information/charges/
Who will carry out the connection work?	<ul style="list-style-type: none"> • All works to Uisce Éireann's network(s), including works in the public space, must be carried out by Uisce Éireann*. <p>*Where a Developer has been granted specific permission and has been issued a connection offer for Self-Lay in the Public Road/Area, they may complete the relevant connection works</p>
Fire flow Requirements	<ul style="list-style-type: none"> • The Confirmation of Feasibility does not extend to fire flow requirements for the Development. Fire flow requirements are a matter for the Developer to determine. • What to do? - Contact the relevant Local Fire Authority
Plan for disposal of storm water	<ul style="list-style-type: none"> • The Confirmation of Feasibility does not extend to the management or disposal of storm water or ground waters. • What to do? - Contact the relevant Local Authority to discuss the management or disposal of proposed storm water or ground water discharges.
Where do I find details of Uisce Éireann's network(s)?	<ul style="list-style-type: none"> • Requests for maps showing Uisce Éireann's network(s) can be submitted to: datarequests@water.ie

<p>What are the design requirements for the connection(s)?</p>	<ul style="list-style-type: none"> • The design and construction of the Water & Wastewater pipes and related infrastructure to be installed in this Development shall comply with <i>the Uisce Éireann Connections and Developer Services Standard Details and Codes of Practice</i>, available at www.water.ie/connections
<p>Trade Effluent Licensing</p>	<ul style="list-style-type: none"> • Any person discharging trade effluent** to a sewer, must have a Trade Effluent Licence issued pursuant to section 16 of the Local Government (Water Pollution) Act, 1977 (as amended). • More information and an application form for a Trade Effluent License can be found at the following link: https://www.water.ie/business/trade-effluent/about/ <p>**trade effluent is defined in the Local Government (Water Pollution) Act, 1977 (as amended)</p>

Project

Project Name: J-056193-2 Longford County Council-Newtownforbes
Project Description: CCTV
Project Number: J-056193
Project Status: Complete
Project Date: 22/08/2024

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Project Name	Project Number	Project Date
J-056193-2 Longford County Council-Newtownforbes	J-056193	22/08/2024

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Section Item 2: F1 > F2 (F1X)	1

Project Information

Project Name	Project Number	Project Date
J-056193-2 Longford County Council-Newtownforbes	J-056193	22/08/2024

Client

Company: Longford County Council
Contact: Michael Malone
Department: Aras an Chontae
Street: Great Water street
Town or City: Longford

Site

Contact: Michael
Town or City: Newtownforbes
County: Longford
Mobile: 086 0756890

Contractor

Company: Mc Breen Environmental Drain Services Ltd
Contact: CCTV Department
Street: Cootehill Road
Town or City: Lismagraty
County: Co. Cavan
Phone: 1890 66 33 33 / (049) 432
Email: info@mcbreen.ie

Scoring Summary

Project Name	Project Number	Project Date
J-056193-2 Longford County Council-Newtownforbes	J-056193	22/08/2024

Structural Defects

Grade 3: Best practice suggests consideration should be given to repairs in the medium term.

Grade 4: Best practice suggests consideration should be given to repairs to avoid a potential collapse.

Grade 5: Best practice suggests that this pipe is at risk of collapse at any time. Urgent consideration should be given to repairs to avoid total failure.

Section	PLR	Grade	Description
2	F1X	4	Hole in drain or sewer from 12 o'clock to 2 o'clock

Service / Operational Condition

Section	PLR	Grade	Description
All inspected pipes are in an acceptable service condition (< grade 3).			

Abandoned Surveys

Section	PLR	Description
All inspections complete, none are abandoned.		

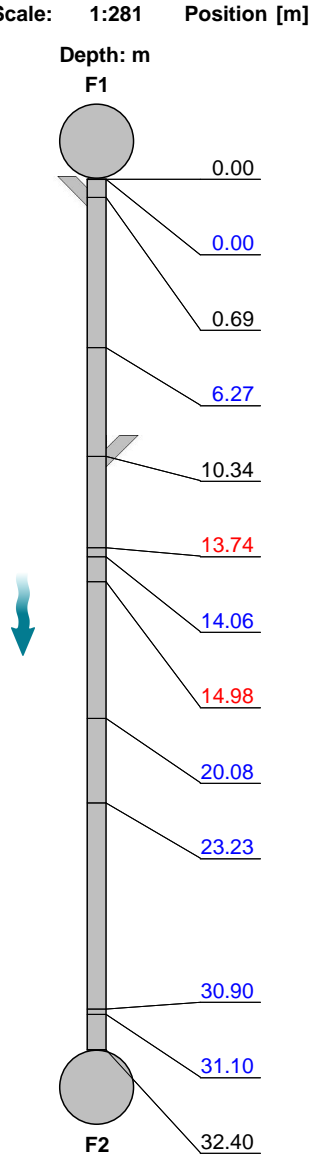
Information

These scoring summaries are based on the SRM grading from the WRc.

Item No. 2	Insp. No. 2	Date 22/08/24	Time 7:56	Client's Job Ref J-056193	Weather No Rain Or Snow	Pre Cleaned No	PLR F1X
Operator SEAN		Vehicle Not Specified		Camera Not Specified	Preset Length Not Specified	Legal Status Not Specified	Alternative ID 1

Town or Village:		Inspection Direction: Downstream		Upstream Node: F1	
Road:	Newtownforbes	Inspected Length: 32.40 m		Upstream Pipe Depth:	
Location:	Gardens (private)	Total Length: 32.40 m		Downstream Node: F2	
Surface Type:		Joint Length:		Downstream Pipe Depth:	
Use:	Foul	Pipe Shape:		Circular	
Type of Pipe:	Gravity drain/sewer	Dia/Height:		100 mm	
Flow Control:	No flow control	Material:		Polyvinyl chloride	
Year Constructed:	Not Specified	Lining Type:		No Lining	
Inspection Purpose:	Routine inspection	Lining Material:		No Lining	

Recommendations:

Scale:	1:281	Position [m]	Code	Observation	MPEG	Photo	Grade
	Depth: m						
	F1						
	0.00	MH	Start node, manhole, reference: F1	00:00:00			
	0.00	WL	Water level, 5% of the vertical dimension	00:00:00			
	0.69	JN	Junction at 2 o'clock, 100mm dia	00:00:07			
	6.27	WL	Water level, 15% of the vertical dimension	00:00:24			
	10.34	JN	Junction at 9 o'clock, 100mm dia	00:00:38			
	13.74	H	Hole in drain or sewer from 12 o'clock to 2 o'clock	00:00:53	F1 TO F2_13-74 m_075837	4	
	14.06	WL	Water level, 15% of the vertical dimension	00:00:59			
	14.98	SB	Surface damage, internal blister from 12 o'clock to 2 o'clock	00:01:10	F1 TO F2_14-98 m_075906		
	20.08	WL	Water level, 15% of the vertical dimension	00:01:27			
	23.23	WL	Water level, 10% of the vertical dimension	00:01:41			
	30.90	WL	Water level, 50% of the vertical dimension	00:02:16			
	31.10	CUW	Loss of vision, camera under water	00:02:20			
32.40	MHF	Finish node, manhole, reference: F2	00:02:30				
F2	Depth: m						

Construction Features					Miscellaneous Features				
Structural Defects					Service & Operational Observations				
STR No. Def	STR Peak	STR Mean	STR Total	STR Grade	SER No. Def	SER Peak	SER Mean	SER Total	SER Grade
1	80.0	2.5	80.0	4.0	0	0.0	0.0	0.0	1.0

Section Pictures - 22/08/2024 - F1X

Item No.	Inspection Direction	PLR	Client's Job Ref	Contractor's Job Ref
2	Downstream	F1X	J-056193	McEntee



F1 TO F2_13-74m_075837.jpg, 00:00:53, 13.74 m
Hole in drain or sewer from 12 o'clock to 2 o'clock



F1 TO F2_14-98m_075906.jpg, 00:01:10, 14.98 m
Surface damage, internal blister from 12 o'clock to 2 o'clock



Part 8, No.119 – Lamagh, Newtownforbes.

Proposed Demolition of 1 No. existing single storey dwelling and 2 No. outbuildings. Construction of 2 No. 2 Bedroom semi-detached single storey houses and 4 No. 2-Bedroom semi-detached two storey houses, including boundary walls/fences, car parking, pedestrian entrances, landscaping, connection to existing services and associated site works at Lamagh, Newtownforbes, Co Longford.

Further Information Response (David & Melissa O'Reilly submission)

Following headings used in submission.

We have taken on board their complaints and have taken them into consideration in the responses below.

1. Overdevelopment:

LCC response: For safety reasons no parking was permitted along the N4. The existing house also does not have parking along the N4. The 2 bed houses to the front will have 3 spaces adjacent the local road L5015 for their use. These are unlikely to be family homes due to only having 2 bedrooms with a maximum of 3 people. They are proposed for elderly or single people with one child.

The 2-storey houses to the rear will each have their own driveway for off street parking.

The 2 bed houses to the front will have their own front and rear gardens all be it small.

The rear 2 storey houses will also have their own front and rear gardens suitable for families.

All gardens will be enclosed.

We believe this proposal will improve the area, by bringing into use a vacant, derelict and neglected site & bring much needed houses to the area.

2. Devaluation of property:

LCC response: It is important for sustainable communities to have a variety and mix of house types and sizes.

We do not believe this will devalue the neighbouring properties. This development will actually utilise a site at the edge of the village to address a local need and tidy up an underutilised vacant and derelict site.

3. Overshadowing:

LCC response: The location and scale of the houses will have minimal impact on the sunlight into the garden of the neighbouring house. There is currently some large trees and old sheds on site which will be removed as part of the works and which should improve the sunlight into the neighbouring property.

4. Restriction of View:

LCC response: The North west facing bedroom currently looks onto old dilapidated sheds, damaged fencing, rubble and incomplete walls. There is also a large tree blocking the view.

This development will tidy up a dilapidated, vacant, unused, unsightly site. There should be a clearer view once the sheds and tree are removed. There will be no structure directly opposite this window.

5. Noise impact:

LCC response: The Noise impact assessment concludes – “*The construction and operational phases of the proposed development shall not result in adverse impact.*” The noise for the demolition stage will be kept minimal and be of short duration.

6. Design and appearance of the development:

LCC response: There is a mix of design in the surrounding houses, including brick, stone and nap plaster. The design of the proposed development intends to incorporate stone in the design to reflect the existing old stone walls & sheds currently on the site.

7. Specific points:

LCC Response: 1) As per item 2 above

2) As per item 2 above. The 2 bed 3 person bungalows are ideally suited for the elderly adjacent local amenities, services and convenience shopping.

3) All dwellings in the proposed development will have their own front & rear enclosed gardens.

4) As per item 1 above.

5) The front elevation of the proposed 2 bed bungalows are actually set back further from the main road than the existing bungalow on the site. Refer to the attached site plan showing the existing house & shed overlaid onto the proposed layout.

We are also moving back the existing site boundary to allow for the public footpath to continue along the front of the development, where it currently stops short. This will improve the safety and amenity of the area for all the local residents.

8. Mature trees:

LCC Response: Two of the trees along the front boundary currently block the view and sightlines for traffic along the main road and particularly traffic exiting out from the junction with the local road.

The large tree in the middle of the site must currently partly block the view of the neighbouring house. It is of no benefit to be kept. We plan to landscape the development on completion and will plant any species as requested by planning to enhance the development.

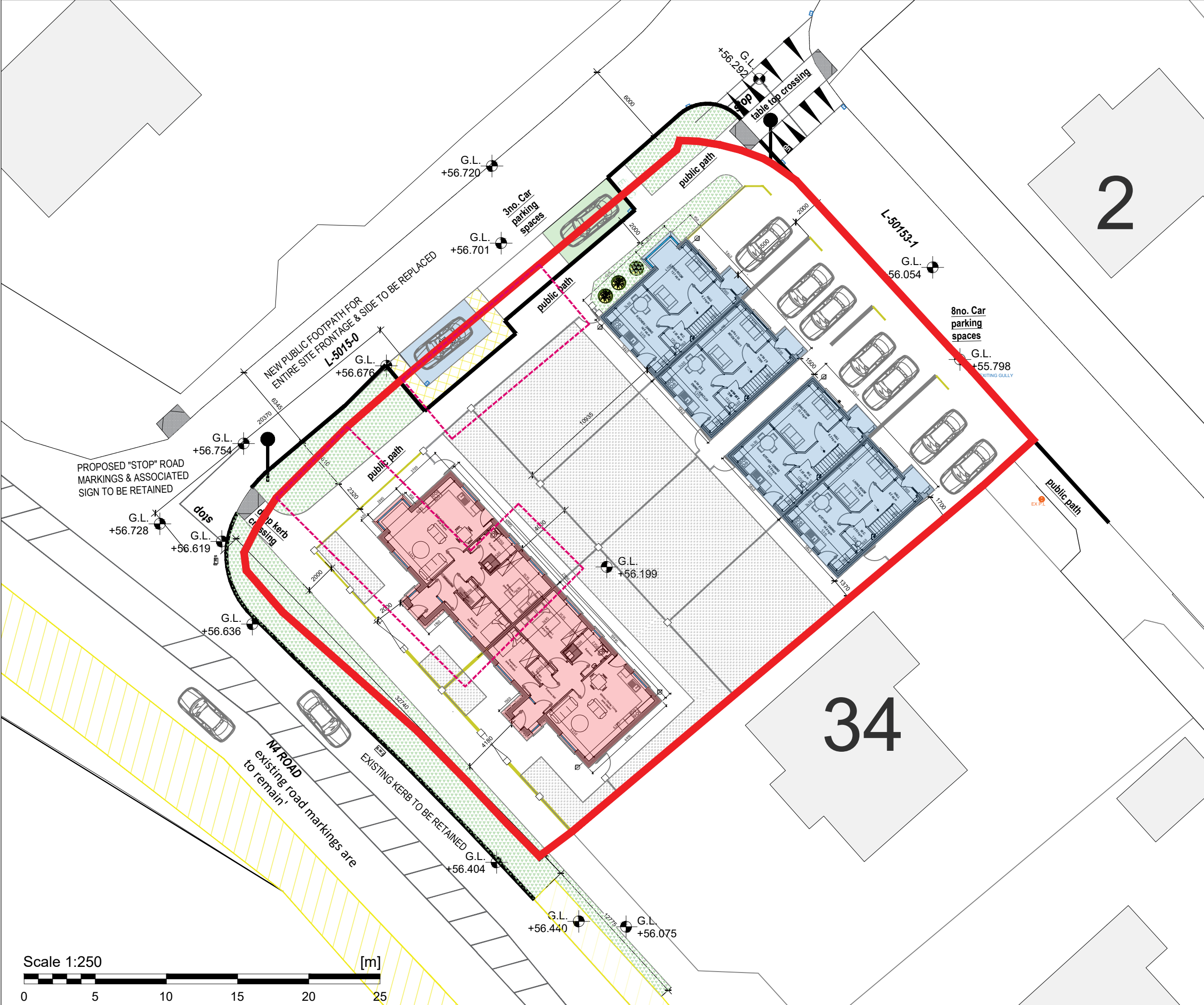
9. In Summary:

The Appropriate Assessment Screening report and the Environmental Assessment Screening report note that there is no environmental impact from the proposed development.

Is mise le meas

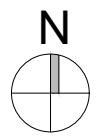


Housing Department,
Longford County Council,
Town Hall,
Market Square,
Longford, Co. Longford.
N39 C5F2



NOTE:

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4. Where this drawing contains discrepancies in relation to other relevant documents, such discrepancies shall be brought to the attention of the Longford County Council - (Housing Section).



2m High Block Wall Capped & Plastered On One Side Only

Proposed

0.9m High Reclaimed stone wall

Proposed

PUBLIC GREEN OPEN SPACE

PRIVATE GARDEN SPACE

PUBLIC CONCRETE FOOTPATHS

LEGEND

Site Boundary:

EXTRACT FROM LONGFORD O.S. 2230B

Type A (2 bed 2 storey) 4 no.

Type B (2 bed 1 storey) 2 no.

Items to be Demolished:

rev: description: date: by

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LONGFORD COUNTY COUNCIL

HOUSING SECTION

Town Hall, Market Square, Longford.
Tel: +353 (0)43 3343300 Email: info@longfordcoco.ie

PROJECT: Lamagh, Newtownforbes
Co. Longford

DRAWING: PROPOSED SITE PLAN

Date: AUG 24 Scale: 1:250 Drg No: LCC-LN-03
Drawn by: MM Checked: DK Revision:

STATUS: PART 8 FRI